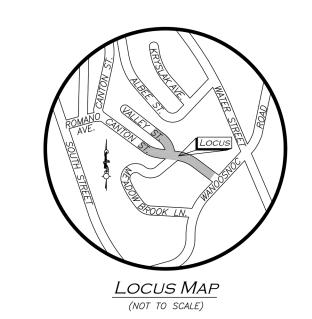
## DHCD#097129

## FITCHBURG HOUSING AUTHORITY: GARAGE ROOF REPLACEMENT

CANTON VALLEY DEVELOPMENT, FITCHBURG MA



Owner:

#### Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

Site Plan - Locus

1" = 160'-0" 2

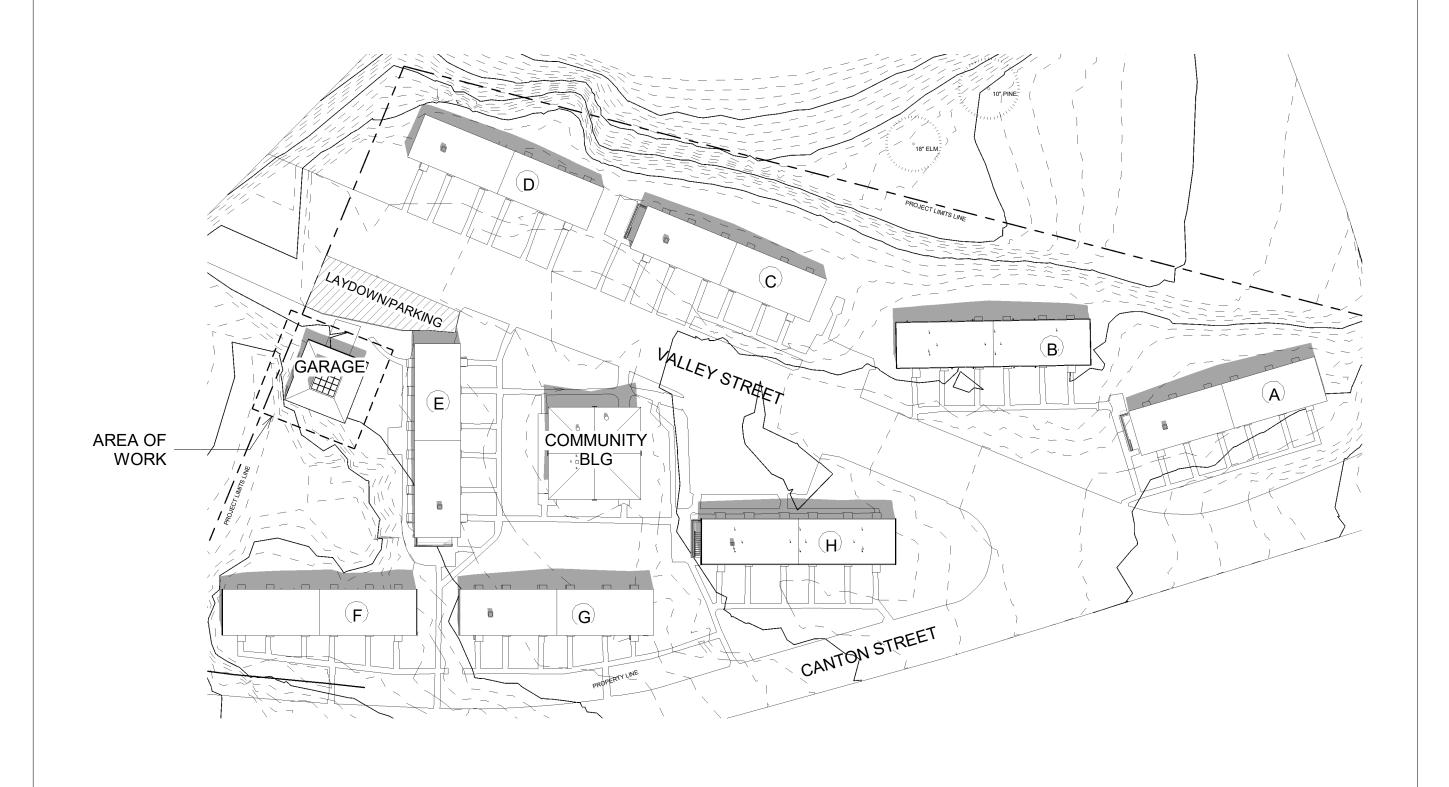
**ARCHITECT** 

**Next Phase Studios** 

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CONSULTANTS



Sheet List					
Sheet Number	Sheet Name				
A-001	Cover Sheet				
AD-100	Garage Roof Demo Plan				
AD-200	Garage North & South Demo Elevations				
AD-201	Garage East & West Demo Elevations				
A-100	Garage Proposed Roof Plan				
A-200	Garage North & South Proposed Elevations				
A-201	Garage East & West Proposed Elevations				
A-500	Proposed Details				
S-100	Garage Proposed Framing Plan				
AD-100 ALT	Garage Roof Demo Plan - ALT				
AD-200 ALT	Garage North & South Demo Elevations - ALT				
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A-200 ALT	Garage North & South Proposed Elevations - ALT				
S-100 ALT	Garage Proposed Framing Plan - ALT				

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DHCD#097129 Fitchburg Housing Authority: Garage Roof Replacement

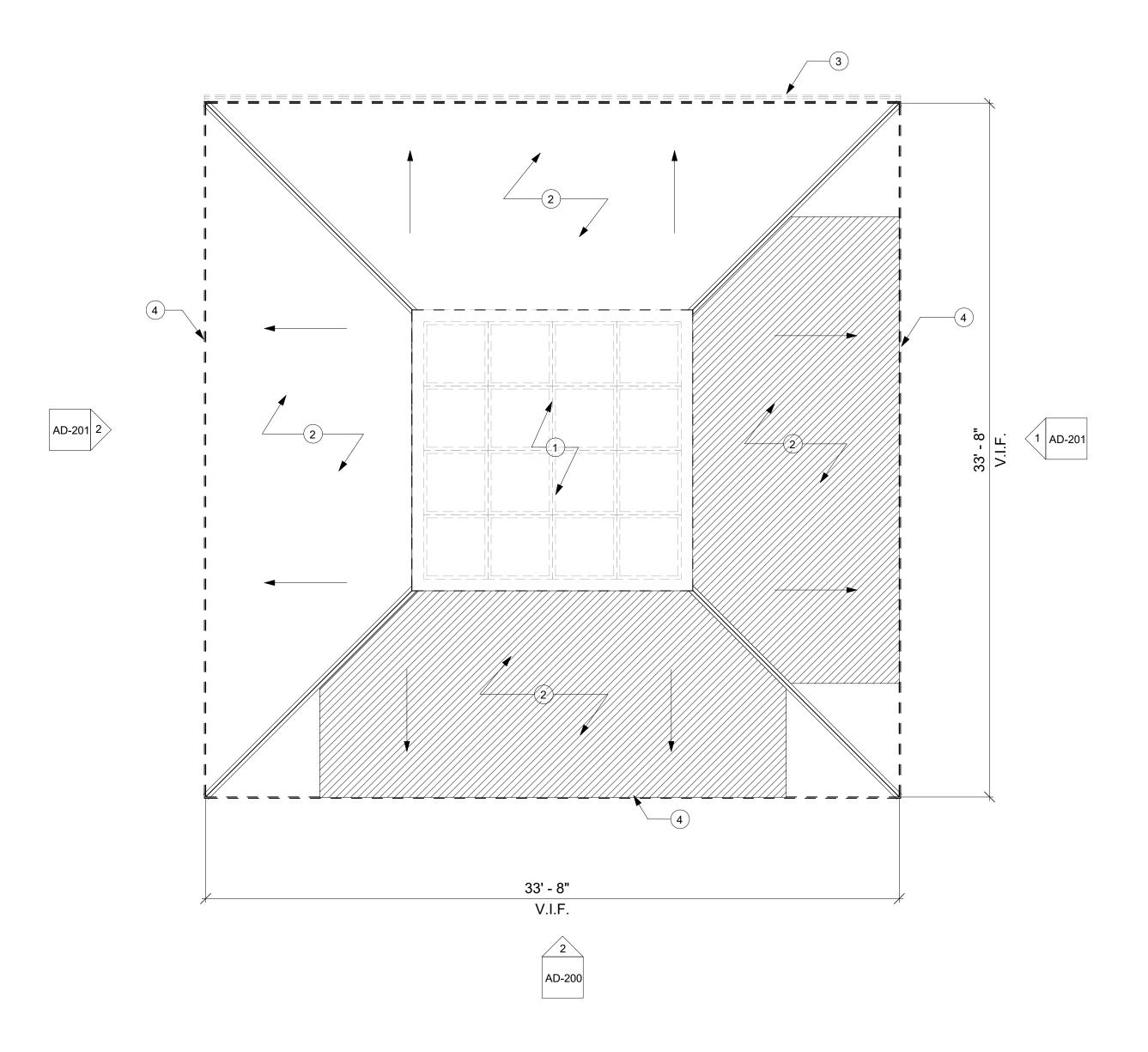
**Cover Sheet** 

PROJECT #: 20003 DRAWN BY: DTM APPROVED BY: NS SCALE: As indicated

A-001

1" = 50'-0" 1





- I. PROPOSED WORK, RENOVATIONS, REPAIRS & STRUCTURAL IN ACCORDANCE WITH MA STATE BUILDING CODE, 9TH EDITION & MUNICIPAL JURISDICTION REQUIREMENTS & BY LAWS.
- 2. THE CONSTRUCTION DRAWINGS WITH THESE NOTES, ALL OF THE CONTRACT DOCUMENTS AND THE WRITTEN SPECIFICATIONS TOGETHER FORM THE COMPLETE CONSTRUCTION DOCUMENTS AND REPRESENTS THE FINISH SCOPE UNLESS NOTED OR SHOWN OTHERWISE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND NOTES, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES.
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- ANY HAZARDOUS MATERIAL DISCOVERED ON SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR ARCHITECT PRIOR TO ANY WORK BEING PERFORMED. ALL LEAD, HAZMAT AND ASBESTOS ABATEMENT WORK SHALL BE IN CONFORMANCE WITH THE MOST RECENT FEDERAL AND MA STATE BUILDING CODE REQUIREMENTS, IF FOUND AND APPROVED AND ABATEMENT.
- 5. BUILDING TO REMAIN WATER TIGHT AT ALL TIMES USING TEMPORARY OR PHASED PERMANENT CONSTRUCTION.
- 6. EGRESS AND OPERATIONS TO BE MAINTAINED AT ALL TIMES.

Owner:

## Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

**ARCHITECT** 

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CONSULTANTS

#### KEY NOTES:

- 1 REMOVE EXISTING SKYLIGHTS AND DISPOSE
  2 REMOVE EXISITING ASPHALT SHINGLE ROOF AND UNDERLAYMENT DOWN TO EXISTING ROOF SHEATHING. REMOVE ANY ROTTED PLYWOOD SHEATHING AND REPLACE. PROVIDE AN ALLOWANCE OF 400 SF. SISTER 2x10 MATERIAL 2'-0" PAST ANY ROTTED OR SOFT MATERIAL ON TOP EDGE OF RAFTERS TO. CLEAN ANY PLYWOOD SHEATHING OR RAFTERS WITH MOLD USING BLEACH SOLUTION PRIOR TO INSTALLING NEW FRAMING.
- 3 REMOVE EXISTING GUTTER AND TRIM. DISPOSE.
- 4 REMOVE EXISTING FACIA AND DISPOSE.

LEGEND:

EXISTING TO REMAIN

EXISTING TO REMAIN

PRESUMED SHEATHING REPLACEMENT

DHCD#097129
Fitchburg Housing

Authority: Garage

Roof Replacement

Garage Roof Demo Plan

PROJECT #: 20003

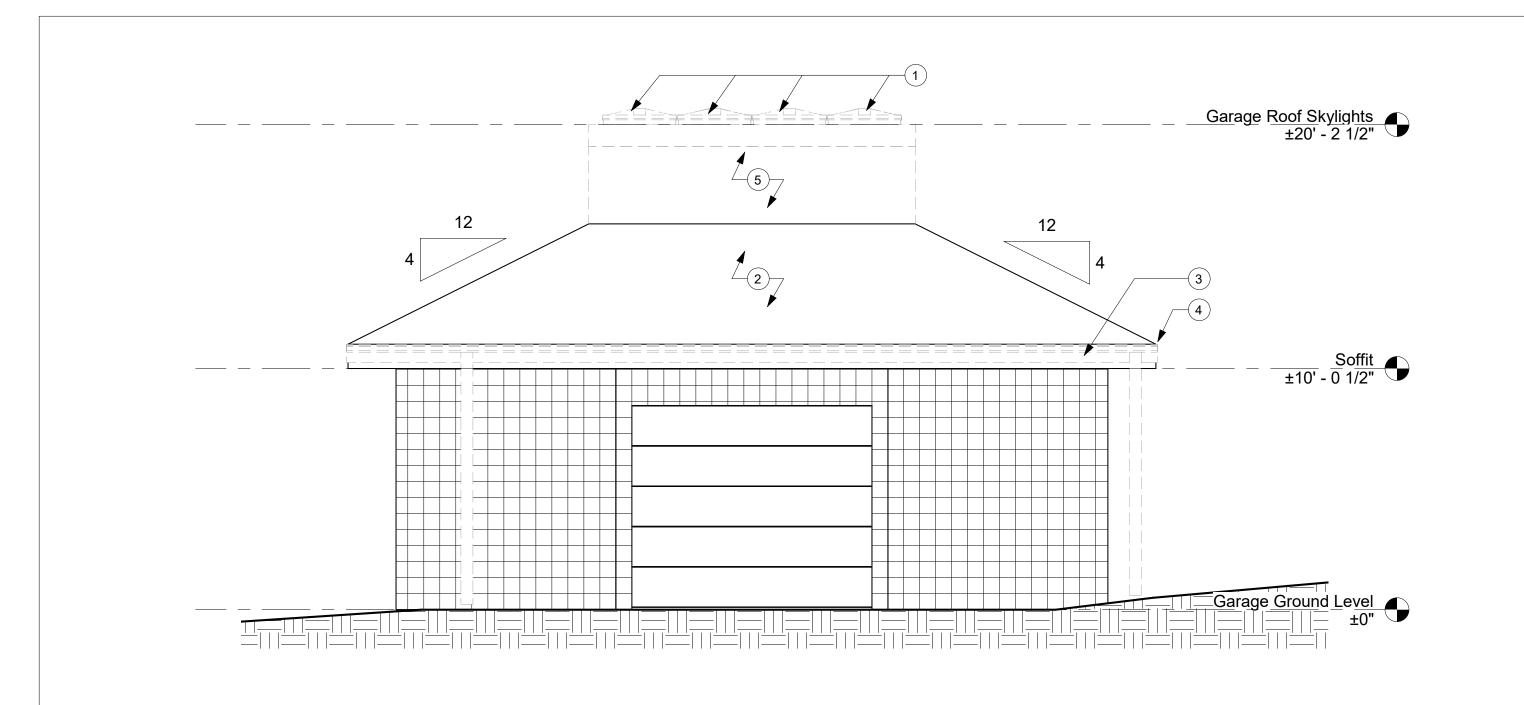
DATE: 3/10/21

DRAWN BY: DTM

APPROVED BY: NS

SCALE: 1/4" = 1'-0"

AD-100



Garage Roof Skylights ±20' - 2 1/2" 12 <u>±10'</u> - 0 1/2"

#### GENERAL NOTES:

- PROPOSED WORK, RENOVATIONS, REPAIRS & STRUCTURAL IN ACCORDANCE WITH MA STATE BUILDING CODE, 9TH EDITION & MUNICIPAL JURISDICTION REQUIREMENTS & BY LAWS.
- THE CONSTRUCTION DRAWINGS WITH THESE NOTES, ALL OF THE CONTRACT DOCUMENTS AND THE WRITTEN SPECIFICATIONS TOGETHER FORM THE COMPLETE CONSTRUCTION DOCUMENTS AND REPRESENTS THE FINISH SCOPE UNLESS NOTED OR SHOWN OTHERWISE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND NOTES, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES.
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- EGRESS AND OPERATIONS TO BE MAINTAINED AT ALL TIMES.

Owner:

#### Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

**ARCHITECT** 

**Next Phase Studios** 

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CONSULTANTS

#### KEY NOTES:

- 1 REMOVE EXISTING SKYLIGHT AND DISPOSE. COVER ROOF OPENING DURING CONSTRUCTION SO WATER TIGHT.
- 2 REMOVE EXISTING ASPHALT ROOF DOWN TO UNDERLAYMENT. REMOVE ALL ROTTED AND MOLDY PLYWOOD SHEETHING AND REPLACE. INFORM ARCHITECT IF STRUCTURAL MEMBERS MUST BE REPLACED.
- 3 REMOVE EXISTING GUTTER AND DOWNSPOUT. DISPOSE.
- 4 REMOVE EXISTING FASCIA. DISPOSE.
- 5 REMOVE EXISTING SKYLIGHT STRUCTURE TO PITCHED ROOF RAFTERS.

LEGEND:	
	EXISTING TO REMAIN
	TO BE DEMOLISHED

DHCD#097129 Fitchburg Housing Authority: Garage

Roof Replacement

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Garage North & South **Demo Elevations** 

PROJECT #: 20003 DATE: 3/10/21 DRAWN BY: DTM APPROVED BY: NS SCALE: 1/4" = 1'-0"

AD-200

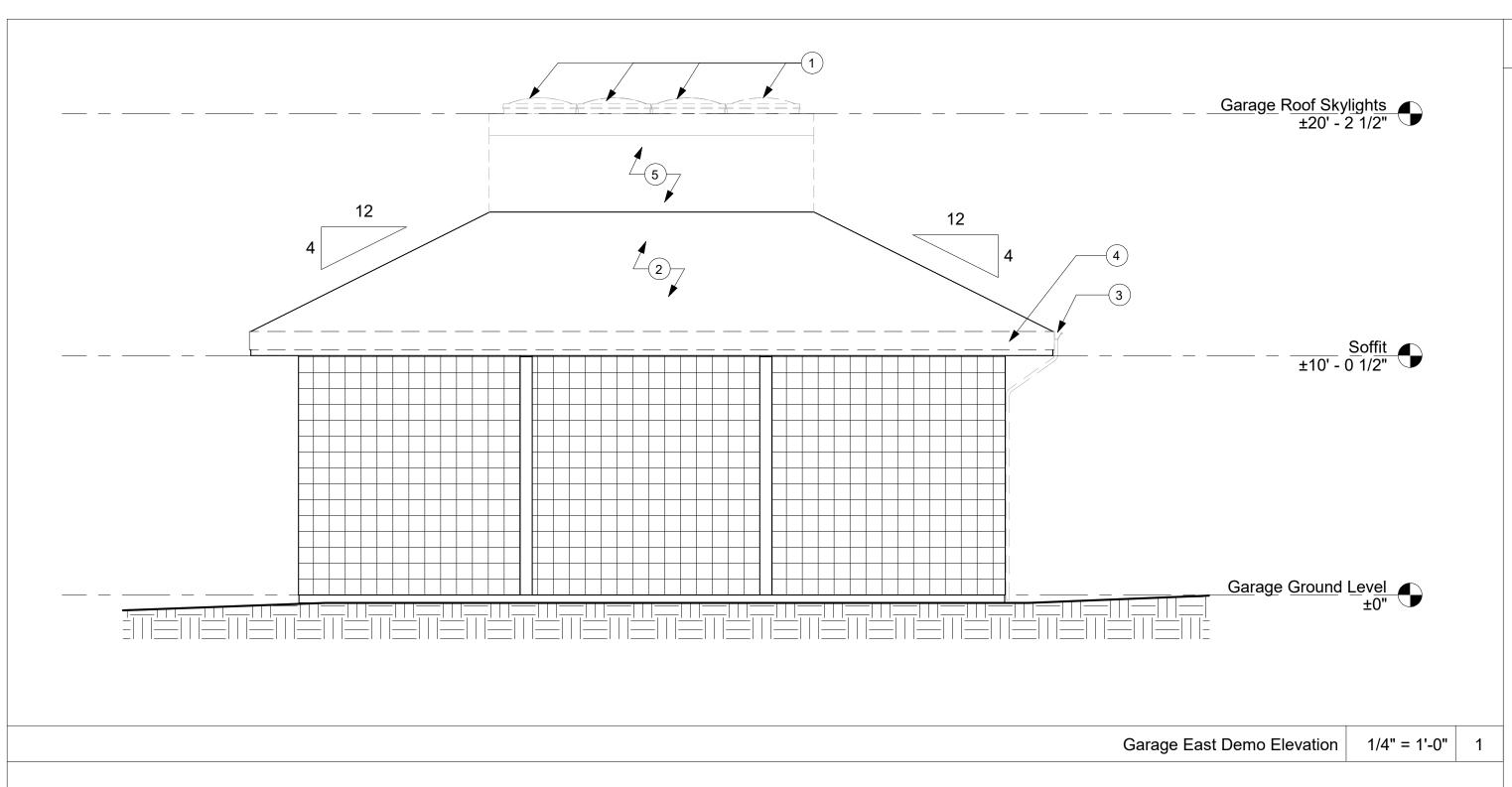
Garage South Demo Elevation

Garage Ground Level ±0"

Garage North Demo Elevation

1/4" = 1'-0" 2

1/4" = 1'-0" 1



I. PROPOSED WORK, RENOVATIONS, REPAIRS & STRUCTURAL IN ACCORDANCE WITH MA STATE BUILDING CODE, 9TH EDITION & MUNICIPAL JURISDICTION REQUIREMENTS & BY LAWS.

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THE CONSTRUCTION DOCUMENTS ARE
PROVIDED TO ILLUSTRATE THE DESIGN
INTENT AND IMPLY THE FINEST QUALITY
WORKMANSHIP THROUGHOUT. ANY DESIGN
OR DETAIL WHICH APPEARS TO BE
INCONSISTENT WITH THE ABOVE SHOULD BE
BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO WORK ADVANCING.

4. ANY HAZARDOUS MATERIAL DISCOVERED ON SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR ARCHITECT PRIOR TO ANY WORK BEING PERFORMED. ALL LEAD, HAZMAT AND ASBESTOS ABATEMENT WORK SHALL BE IN CONFORMANCE WITH THE MOST RECENT FEDERAL AND MA STATE BUILDING CODE REQUIREMENTS, IF FOUND AND APPROVED AND ABATEMENT.

BUILDING TO REMAIN WATER TIGHT AT ALL TIMES USING TEMPORARY OR PHASED PERMANENT CONSTRUCTION.

. EGRESS AND OPERATIONS TO BE MAINTAINED AT ALL TIMES.

Owner:

## Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

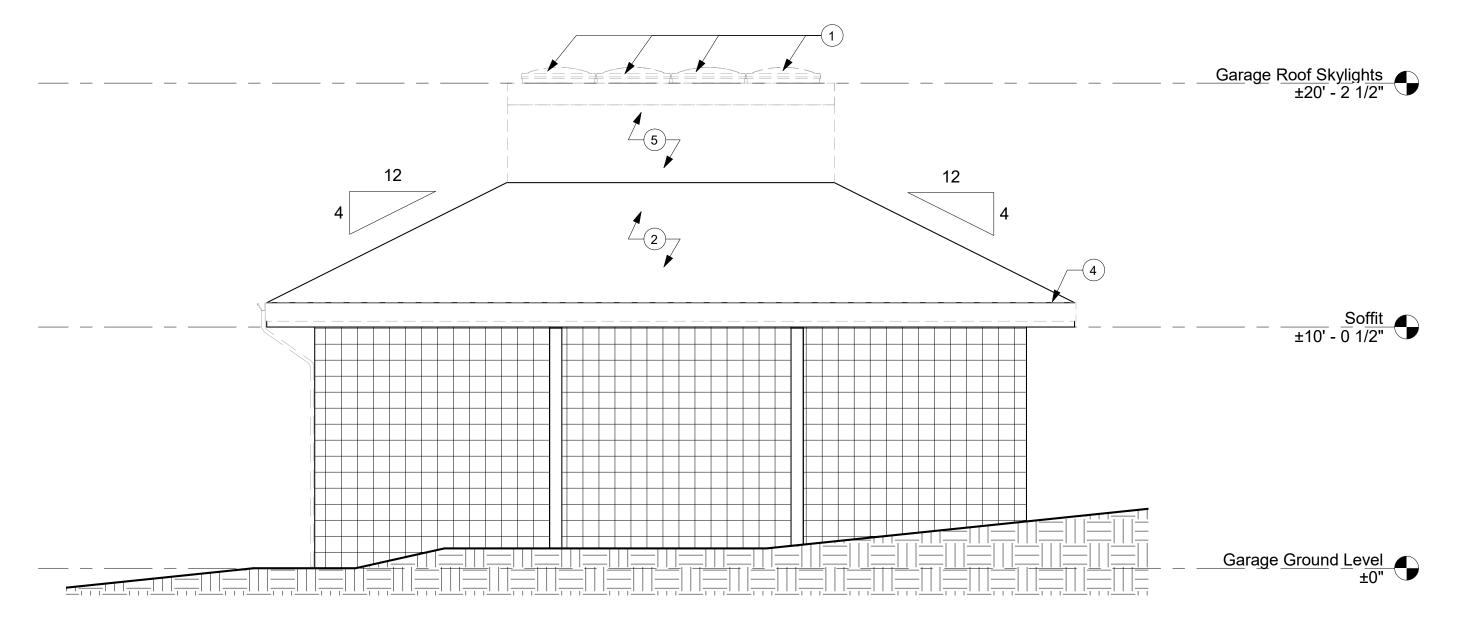
**ARCHITECT** 

Next Phase Studios

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CONSULTANTS



#### KEY NOTES:

1/4" = 1'-0" 2

Garage West Demo Elevation

- 1 REMOVE EXISTING SKYLIGHT AND DISPOSE. COVER ROOF OPENING DURING CONSTRUCTION SO WATER TIGHT.
- 2 REMOVE EXISTING ASPHALT ROOF DOWN TO UNDERLAYMENT. REMOVE ALL ROTTED AND MOLDY PLYWOOD SHEETHING AND REPLACE. INFORM ARCHITECT IF STRUCTURAL MEMBERS MUST BE REPLACED.
- 3 REMOVE EXISTING GUTTER AND DOWNSPOUT. DISPOSE.
- 4 REMOVE EXISTING FASCIA. DISPOSE.
- 5 REMOVE EXISTING SKYLIGHT STRUCTURE TO PITCHED ROOF RAFTERS.

LEGEND:	
	EXISTING TO REMAIN
	TO BE DEMOLISHED

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DHCD#097129
Fitchburg Housing
Authority: Garage
Roof Replacement

Garage East & West Demo Elevations

PROJECT #: 20003

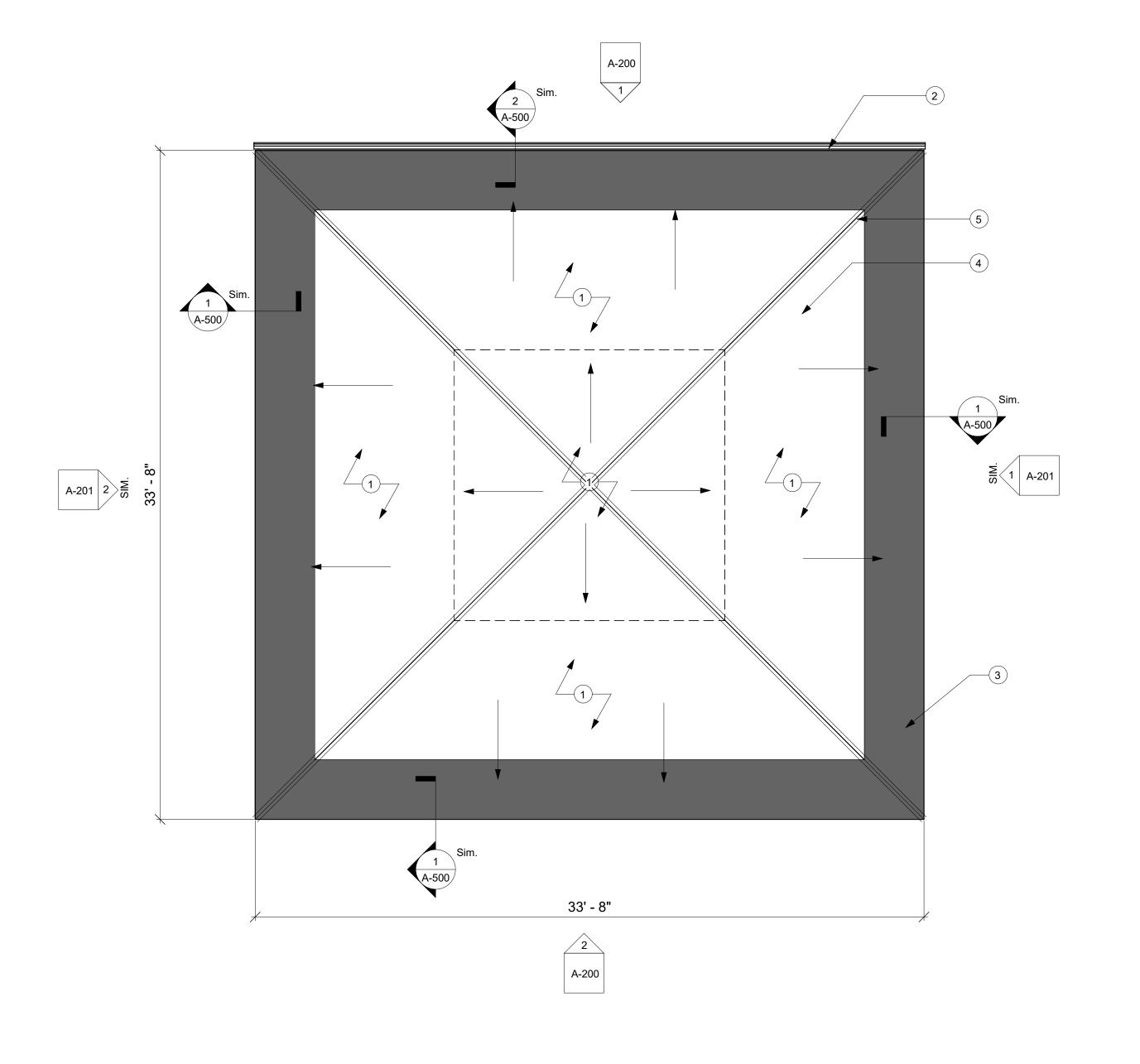
DATE: 3/10/21

DRAWN BY: DTM

APPROVED BY: NS

SCALE: 1/4" = 1'-0"

AD-201



- PROPOSED WORK, RENOVATIONS, REPAIRS & STRUCTURAL IN ACCORDANCE WITH MA STATE BUILDING CODE, 9TH EDITION & MUNICIPAL JURISDICTION REQUIREMENTS & BY LAWS.
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- EGRESS AND OPERATIONS TO BE MAINTAINED AT ALL TIMES.

Owner:

#### Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

**ARCHITECT** 

**Next Phase Studios** 

344 BOYLSTON STREET BOSTON, MA 02116

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CONSULTANTS

#### KEY NOTES:

- 1 INSTALL NEW ASPHALT ROOF PER MANUFACTURER'S REQ.
- 2 PROVIDE NEW 6" GUTTER, DOWNSPOUTS, AND DOWNSPOUT EXTENSION.
- 3 PROVIDE 3' 0" ICE & WATER MEMBRANE AT EAVES, FLASHING TO 3' - 0" INSIDE WALL PERIMÉTER LINE.
- 4 INSTALL NEW STRUCTURAL FRAMING, UNDERLAYMENT, AND ASPHALT ROOF SHINGLES PER MANUFACTURER'S REQ. SEE S-100 FOR STRUCTURAL INFILL.
- 5 INSTALL NEW ASPHALT CAP FLASHING AT ALL RIDGES.

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DHCD#097129 Fitchburg Housing Authority: Garage Roof Replacement

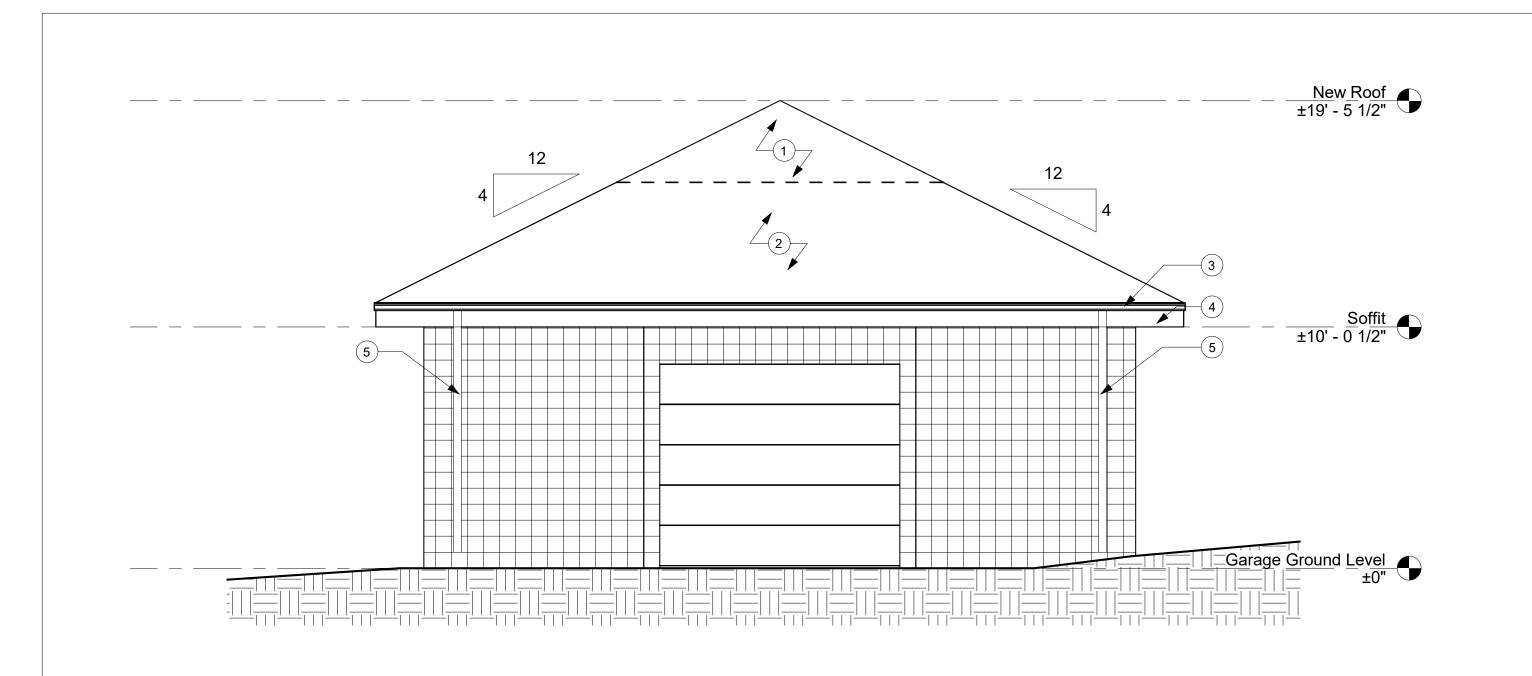
LEGEND:

3' - 0" ICE & WATER SHIELD

Garage Proposed Roof Plan

PROJECT #: 20003 DATE: 3/10/21 DRAWN BY: DTM APPROVED BY: NS SCALE: 1/4" = 1'-0"

A-100



Garage North Proposed Elevation 1/4" = 1'-0" | 1

# New Roof ±19' - 5 1/2" -(4)Garage Ground Level ±0"

#### GENERAL NOTES:

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Owner:

#### Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

**ARCHITECT** 

**Next Phase Studios** 

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CONSULTANTS

#### KEY NOTES:

- 1 PROVIDE NEW ASPHALT SHINGLES. INSTALL PER MANUFACTURER'S REQUIREMENTS. INFILL EXISTING FRAMING WITH NEW TO MATCH EXISTING PITCH. SEE S-100 FOR ADDITIONAL INFORMATION.
- 2 PROVIDE NEW ASPHALT SHINGLE ROOF. INSTALL PER MANUFACTURER'S REQUIREMENTS.
- 3 INSTALL NEW 6" ALUMINUM GUTTER. COORDINATE LOCATION WITH NEW ROOF.
- 4 INSTALL NEW PVC FASCIA.
- 5 PROVIDE NEW ALUMINIMUM 3X4 DOWNSPOUTS AND SPLASH BLOCKS

LEGEND:

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DHCD#097129 Fitchburg Housing Authority: Garage **Roof Replacement** 

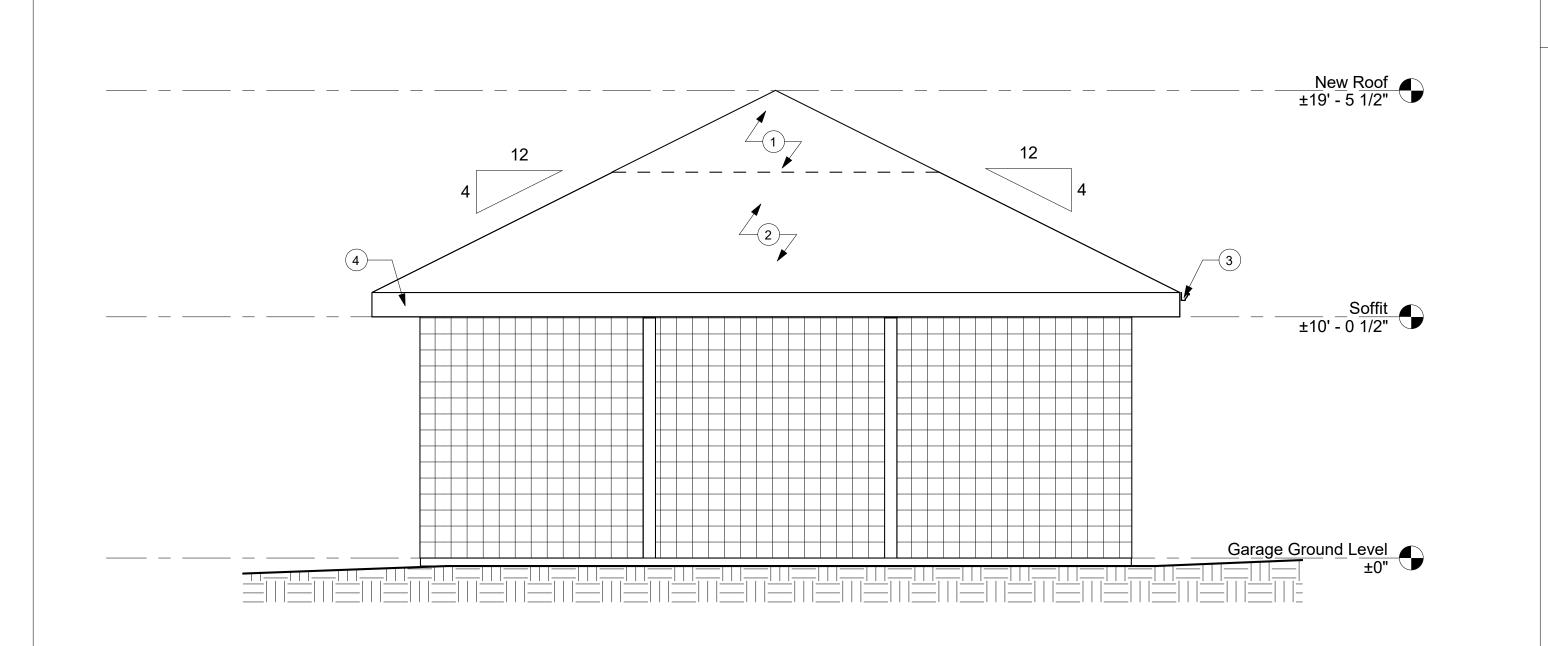
Garage North & South **Proposed Elevations** 

PROJECT #: 20003 DATE: 3/10/21 DRAWN BY: DTM APPROVED BY: NS SCALE: 1/4" = 1'-0"

A-200

Garage South Proposed Elevation

1/4" = 1'-0" 2



Garage East Proposed Elevation 1/4" = 1'-0" | 1

## New Roof ±19' - 5 1/2" $\frac{1}{2}$ 12 3 50ffit ±10' - 0 1/2" Garage Ground Level ±0"

#### GENERAL NOTES:

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Owner:

#### Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

**ARCHITECT** 

#### **Next Phase Studios**

344 BOYLSTON STREET Boston, MA 02116

T: 617-375-9300 WWW.NPS-ARCHITECTS.COM

CONSULTANTS

#### KEY NOTES:

- 1 PROVIDE NEW ASPHALT SHINGLES. INSTALL PER MANUFACTURER'S REQUIREMENTS. INFILL EXISTING FRAMING WITH NEW TO MATCH EXISTING PITCH. SEE S-100 FOR ADDITIONAL INFORMATION.
- 2 PROVIDE NEW ASPHALT SHINGLE ROOF. INSTALL PER MANUFACTURER'S REQUIREMENTS.
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- 5 PROVIDE NEW ALUMINIMUM 3X4 DOWNSPOUTS AND SPLASH BLOCKS

LEGEND:

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DHCD#097129 Fitchburg Housing Authority: Garage **Roof Replacement** 

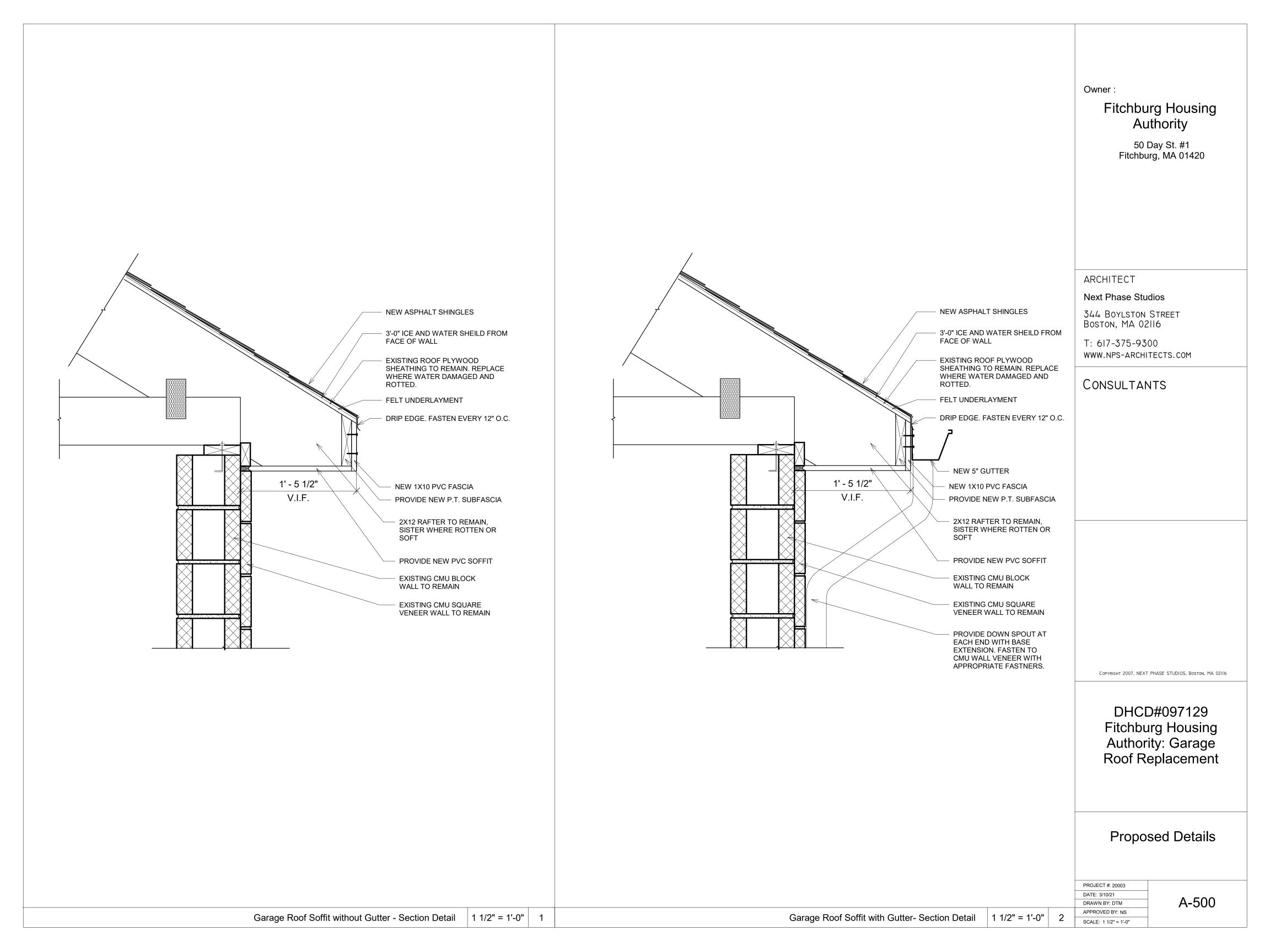
Garage East & West **Proposed Elevations** 

PROJECT #: 20003 DATE: 3/10/21 DRAWN BY: DTM APPROVED BY: NS SCALE: 1/4" = 1'-0"

A-201

Garage West Proposed Elevation

1/4" = 1'-0" 2



#### SHEET NOTES

ALL CONNECTIONS AND FRAMING TO MEET 780 CMR 16

ANY REVISIONS TO THESE DRAWINGS OR USE OF THESE DRAWINGS OR SPECIFICATIONS, REGARDLESS OF SCOPE, WITHOUT PERMISSION OF NEXT PHASE STUDIOS, INC. IS PROHIBITED AND SHALL THEREBY ABSOLVE NEXT PHASE STUDIOS, INC., FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.

- 1. ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS IN FORCE OF THE MASS. BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, ORDERS, ORDINANCES, AND REGULATIONS.
- 2. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN DESIRED AND IMPLY THE FINEST QUALITY WORKMANSHIP THROUGHOUT. ANY DESIGN OR DETAIL THAT APPEARS TO BE INCONSISTENT WITH THE ABOVE SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- 3. THE CONTRACTOR IS EXPECTED TO FURNISH ALL NECESSARY ITEMS OF MATERIALS, LABOR, ETC. WHICH SOUND CONSTRUCTION DEMANDS AND WHICH ARE NECESSARY TO MAKE A COMPLETE JOB TO THE TURE MEANING AND INTENT OF THESE DRAWINGS AND SPECIFICATIONS, WHETHER SHOWN ON THE DRAWINGS OR NOT. THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF ANY MANIFESTLY UNINTENTIONAL ERROR OR OMISSION IN THE DRAWINGS OR SPECIFICATIONS.
- 4. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS, AND OTHER CONDITIONS AND SHALL NOTIFY THE ARCHITECTS OR OWNER OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO STARTING
- 5. ALL FASTENERS USED WITH P.T. LUMBER TO BE CHEMICALLY COMPATIBLE.
- 6. CONTRACTOR TO PROTECT ALL LANDSCAPE & PLANTINGS AS AGREED. TWO LARGE SILVER MAPLES TO BE PROTECTED W/ ROOTS PADDED BY 18" OF MULCH.

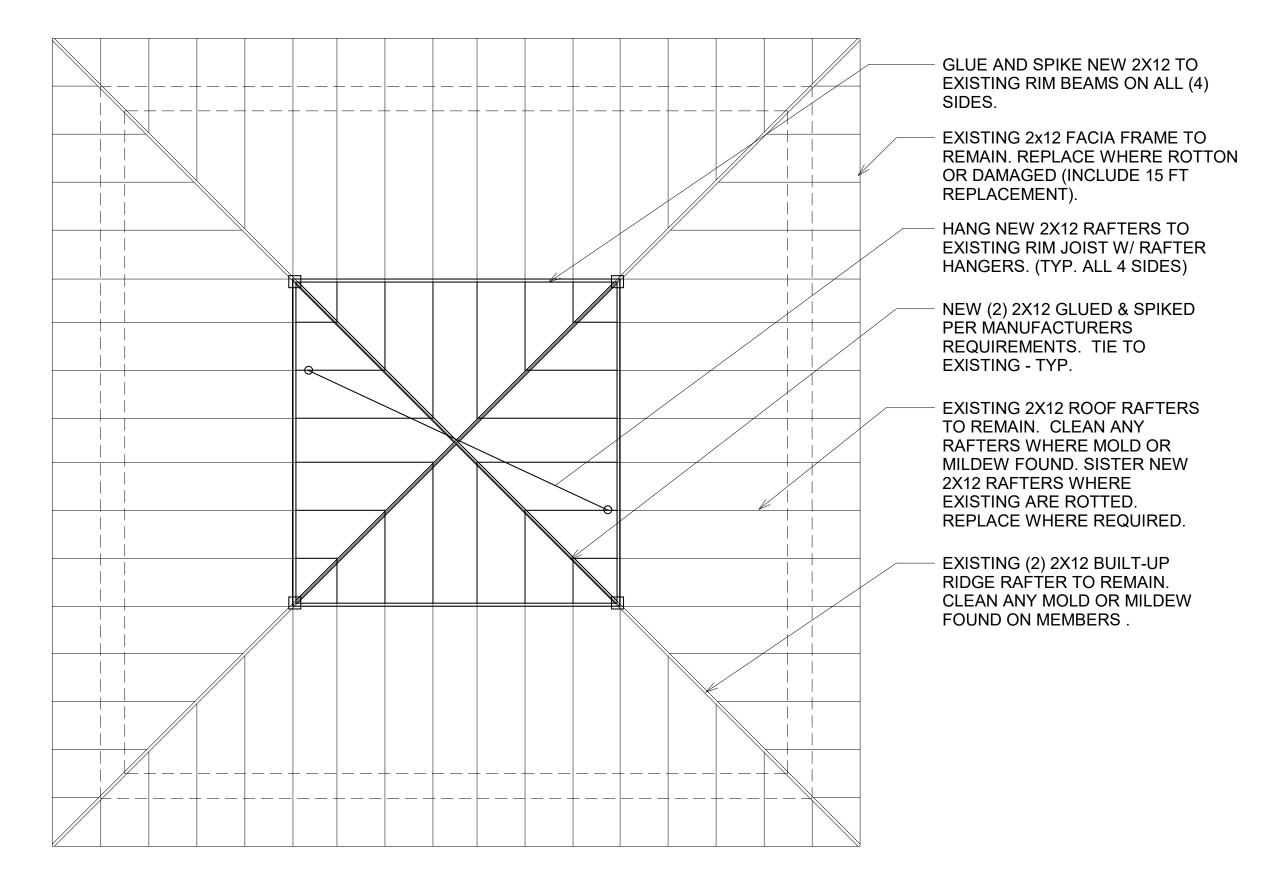
#### DRAWING NOTES

LATERAL BRACING AS SUPPLIED BY MANUFACTURER @ MAX OF 8'-0" O.C.

COORDINATE SINGLE & COUPLED RIM JOISTS TO MANUFACTURE, MATERIALS & DETAILS

ALL HANGERS TO USE SHEER NAILS IN THE QUANTITY TO MATCH TEMPLATE AND SET **FULLY** 

ALL BRACKETS TO BE 1/2"x6"x6" ANGLE W/ MIN. OF (2) 1/2"x4" BOLTS FULLY SET AND WELDED SADDLE AS REQUIRED



Owner:

#### Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

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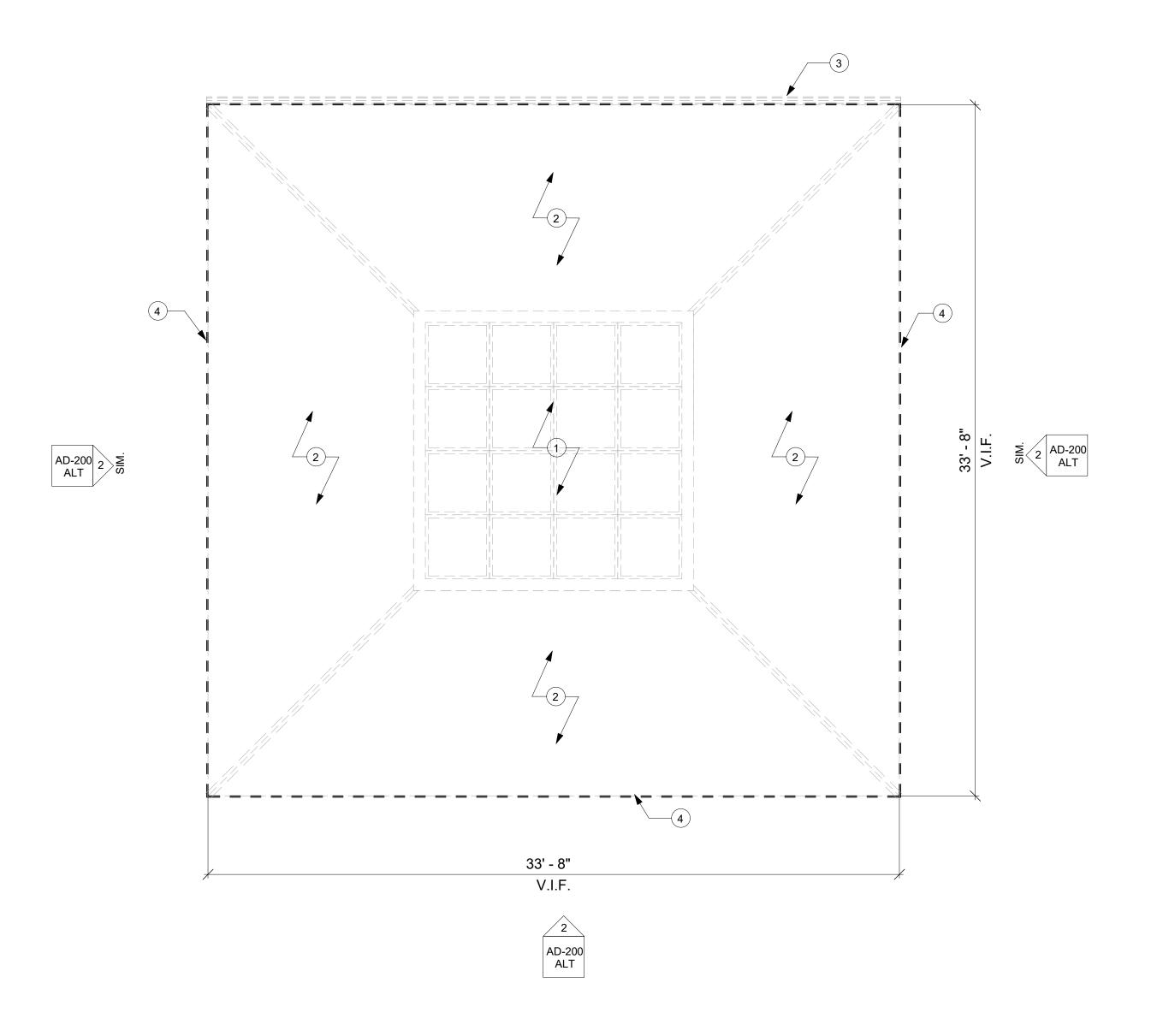
DHCD#097129 Fitchburg Housing Authority: Garage Roof Replacement

Garage Proposed Framing Plan

PROJECT #: 20003 DATE: 3/10/21 DRAWN BY: DTM APPROVED BY: NS SCALE: 1/4" = 1'-0"

S-100





- I. PROPOSED WORK, RENOVATIONS, REPAIRS & STRUCTURAL IN ACCORDANCE WITH MA STATE BUILDING CODE, 9TH EDITION & MUNICIPAL JURISDICTION REQUIREMENTS & BY LAWS.
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- 6. EGRESS AND OPERATIONS TO BE MAINTAINED AT ALL TIMES.

Owner:

## Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

#### ARCHITECT

#### **Next Phase Studios**

344 BOYLSTON STREET BOSTON, MA 02116

T: 617-375-9300 WWW.NPS-ARCHITECTS.COM

#### CONSULTANTS

#### KEY NOTES:

- 1 REMOVE EXISTING SKYLIGHTS AND FRAME. DISPOSE.
- 2 REMOVE EXISTING ASPHALT SHINGLES AND ROOF STRUCTURE DOWN TO CMU EXTERIOR WALLS.
- 3 REMOVE EXISTING GUTTER AND DOWNSPOUTS. DISPOSE.
- 4 REMOVE EXISTING FASCIA. DISPOSE.



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Fitchburg Housing
Authority: Garage
Roof Replacement

LEGEND:

EXISTING TO REMAIN

TO BE DEMOLISHED

Garage Roof Demo Plan - ALT

PROJECT #: 20003

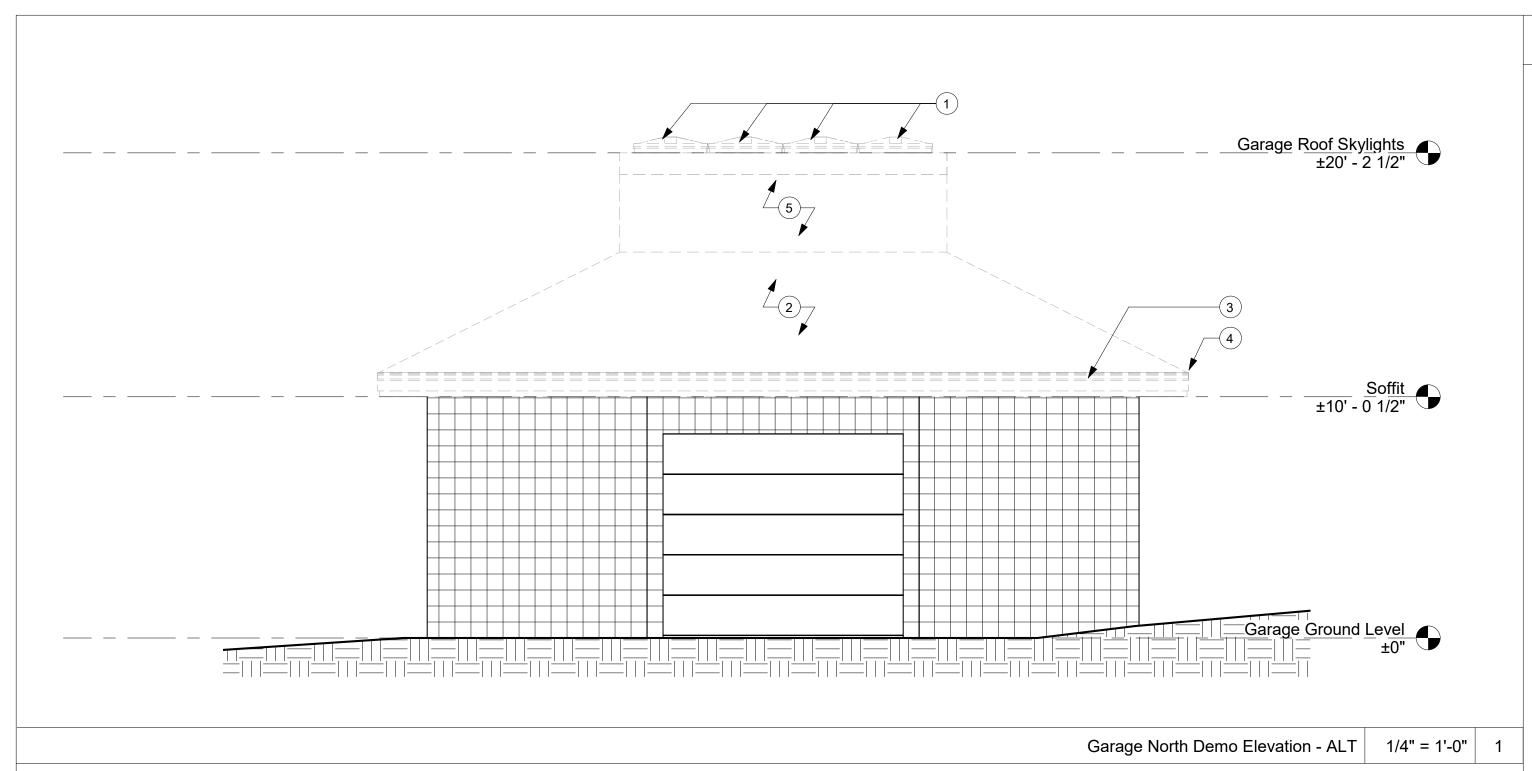
DATE: 3/10/21

DRAWN BY: DTM

APPROVED BY: NS

SCALE: 1/4" = 1'-0"

AD-100 ALT



I. PROPOSED WORK, RENOVATIONS, REPAIRS & STRUCTURAL IN ACCORDANCE WITH MA STATE BUILDING CODE, 9TH EDITION & MUNICIPAL JURISDICTION REQUIREMENTS & BY LAWS.

2. THE CONSTRUCTION DRAWINGS WITH THESE NOTES, ALL OF THE CONTRACT DOCUMENTS AND THE WRITTEN SPECIFICATIONS TOGETHER FORM THE COMPLETE CONSTRUCTION DOCUMENTS AND REPRESENTS THE FINISH SCOPE UNLESS NOTED OR SHOWN OTHERWISE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND NOTES, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES.

THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN INTENT AND IMPLY THE FINEST QUALITY WORKMANSHIP THROUGHOUT. ANY DESIGN OR DETAIL WHICH APPEARS TO BE INCONSISTENT WITH THE ABOVE SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK ADVANCING.

4. ANY HAZARDOUS MATERIAL DISCOVERED ON SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR ARCHITECT PRIOR TO ANY WORK BEING PERFORMED. ALL LEAD, HAZMAT AND ASBESTOS ABATEMENT WORK SHALL BE IN CONFORMANCE WITH THE MOST RECENT FEDERAL AND MA STATE BUILDING CODE REQUIREMENTS, IF FOUND AND APPROVED AND ABATEMENT.

BUILDING TO REMAIN WATER TIGHT AT ALL TIMES USING TEMPORARY OR PHASED PERMANENT CONSTRUCTION.

6. EGRESS AND OPERATIONS TO BE MAINTAINED AT ALL TIMES.

Owner:

## Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

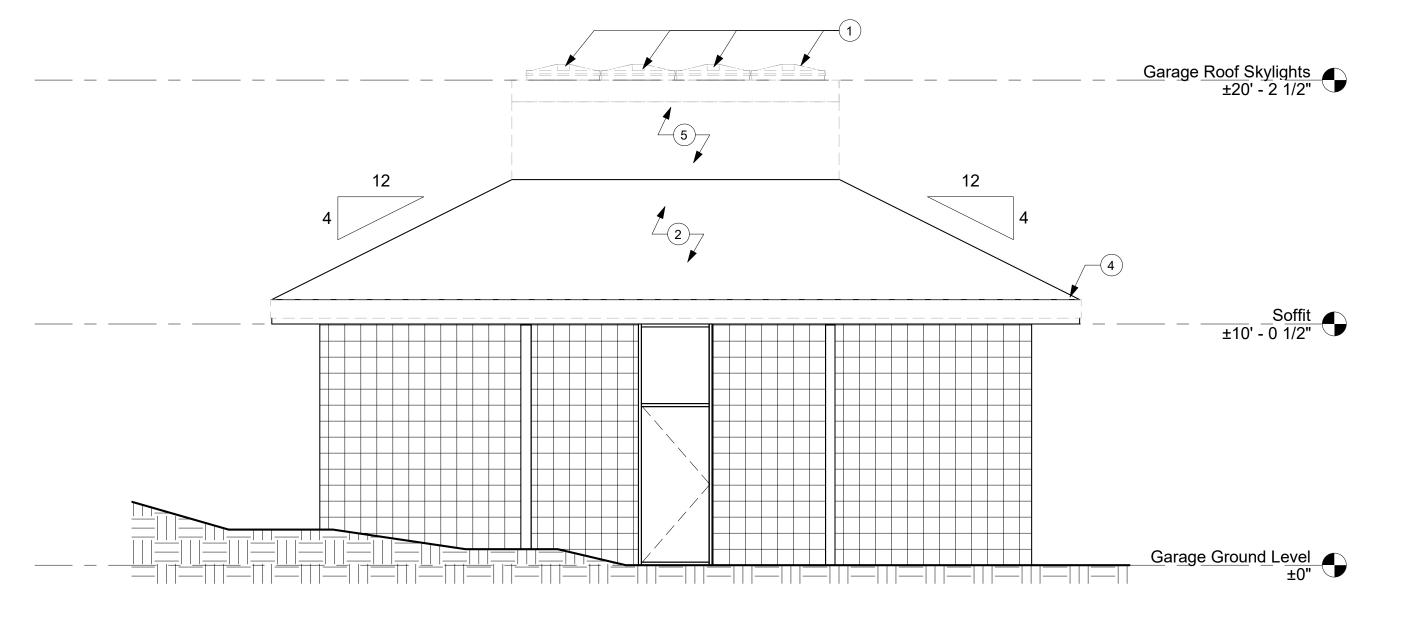
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CONSULTANTS



K	ΕY	Ν	O <sup>-</sup>	ΓE	ΞS

- 1 REMOVE EXISTING SKYLIGHTS. DISPOSE.
- 2 REMOVE EXISTING ASPHALT ROOF AND STRUCTURAL FRAMING. PREPARE FOR NEW.
- 3 REMOVE EXISTING GUTTER AND DOWNSPOUT. DISPOSE.
- 4 REMOVE EXISTING FASCIA. DISPOSE.
- 5 REMOVE EXISTING SKYLIGHT FRAMING. DISPOSE.

DHCD#097129
Fitchburg Housing
Authority: Garage
Roof Replacement

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LEGEND:

1/4" = 1'-0" 2

Garage South Demo Elevation - ALT

EXISTING TO REMAIN

TO BE DEMOLISHED

Garage North & South
Demo Elevations ALT

PROJECT #: 20003

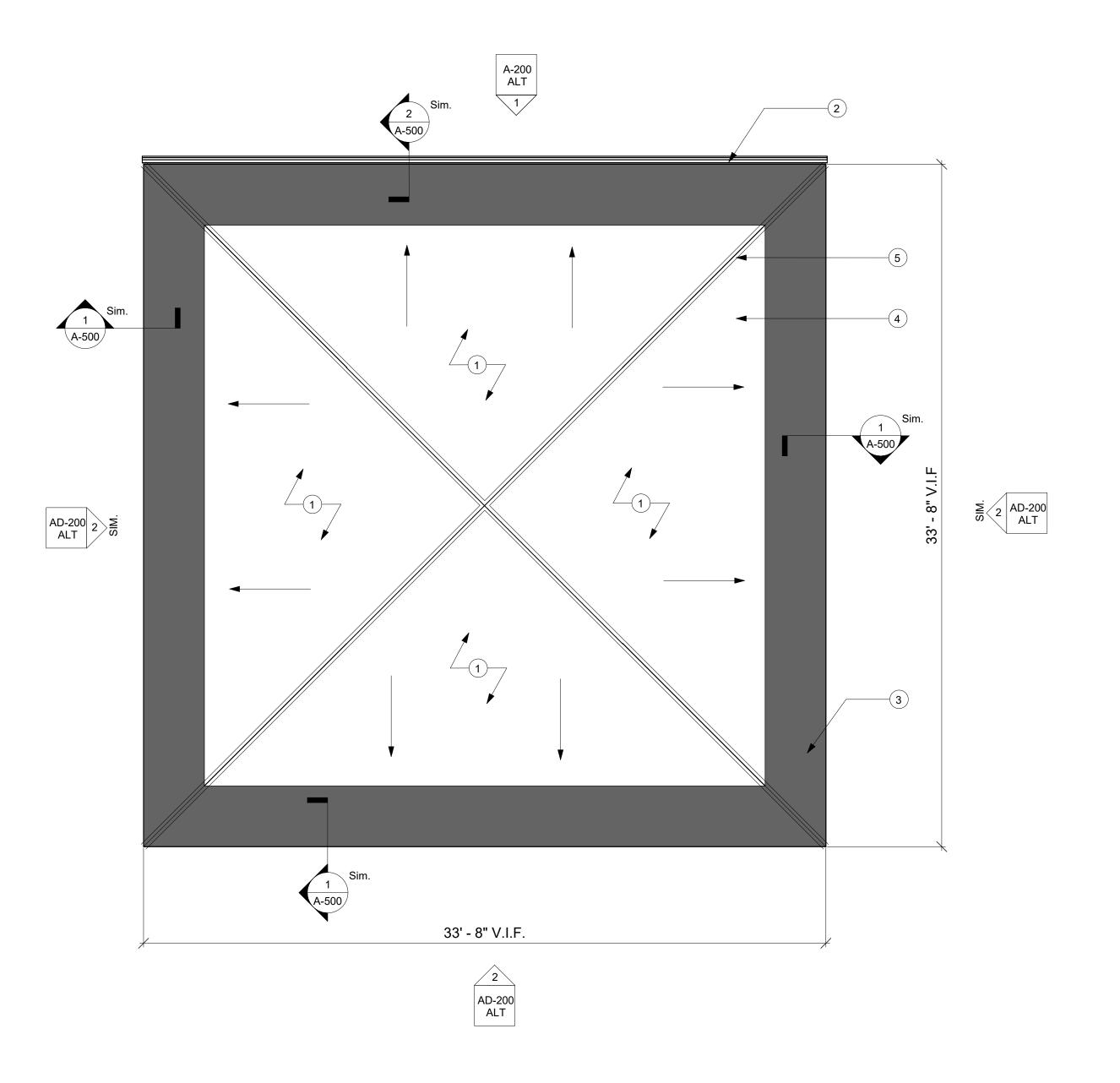
DATE: 3/10/21

DRAWN BY: DTM

APPROVED BY: NS

SCALE: 1/4" = 1'-0"

AD-200 ALT



- PROPOSED WORK, RENOVATIONS, REPAIRS & STRUCTURAL IN ACCORDANCE WITH MA STATE BUILDING CODE, 9TH EDITION & MUNICIPAL JURISDICTION REQUIREMENTS & BY LAWS.
- THE CONSTRUCTION DRAWINGS WITH THESE NOTES, ALL OF THE CONTRACT DOCUMENTS AND THE WRITTEN SPECIFICATIONS TOGETHER FORM THE COMPLETE CONSTRUCTION DOCUMENTS AND REPRESENTS THE FINISH SCOPE UNLESS NOTED OR SHOWN OTHERWISE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND NOTES, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES.
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- ANY HAZARDOUS MATERIAL DISCOVERED ON SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR ARCHITECT PRIOR TO ANY WORK BEING PERFORMED. ALL LEAD, HAZMAT AND ASBESTOS ABATEMENT WORK SHALL BE IN CONFORMANCE WITH THE MOST RECENT FEDERAL AND MA STATE BUILDING CODE REQUIREMENTS, IF FOUND AND APPROVED AND ABATEMENT.
- BUILDING TO REMAIN WATER TIGHT AT ALL TIMES USING TEMPORARY OR PHASED PERMANENT CONSTRUCTION.
- EGRESS AND OPERATIONS TO BE MAINTAINED AT ALL TIMES.

Owner:

#### Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

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#### KEY NOTES:

- 1 INSTALL NEW ASPHALT SHINGLE ROOF PER MANUFACTURER'S REQUIREMENTS.
- 2 PROVIDE NEW GUTTER, DOWNSPOUTS AND DOWNSPOUT EXTENSIONS.
- 3 PROVIDE 3'-0" ICE & WATER SHIELD MEMBRANE AT EAVES, FLASHING TO 3'-0" INSIDE W ALL PERIMETER LINE.
- 4 INSTALL FULL NEW ROOF STRUCTURE. SEE S-100 ALT FOR DETAILS.
- 5 INSTALL ASPHALT CAP FLASHING AT ALL RIDGES.

LEGEND:

3' - 0" ICE & WATER SHIELD



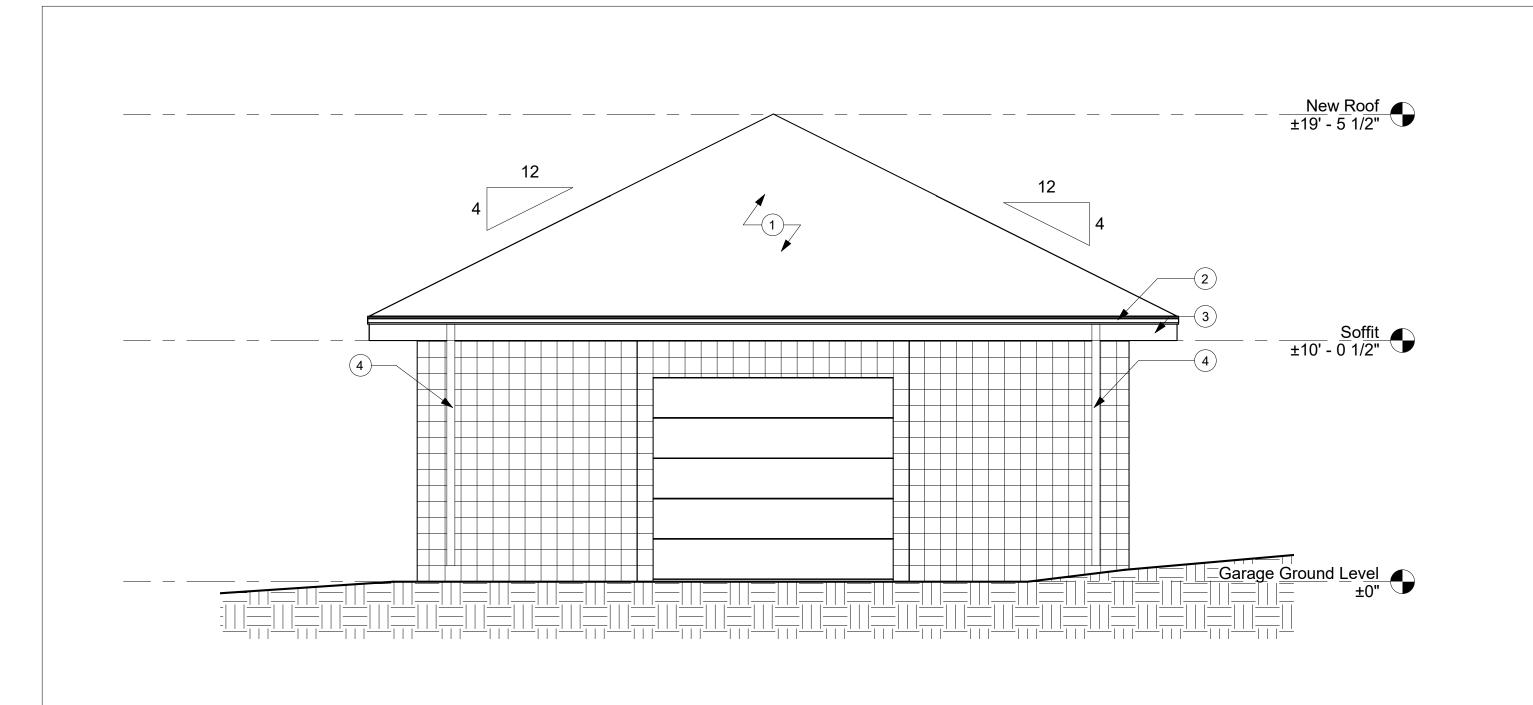
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DHCD#097129 Fitchburg Housing Authority: Garage Roof Replacement

Garage Proposed Roof Plan - ALT

PROJECT #: 20003 DATE: 3/10/21 DRAWN BY: DTM APPROVED BY: NS SCALE: 1/4" = 1'-0"

A-100 ALT



New Roof ±19' - 5 1/2" 12 12 Garage Ground Level ±0"

#### GENERAL NOTES:

- PROPOSED WORK, RENOVATIONS, REPAIRS & STRUCTURAL IN ACCORDANCE WITH MA STATE BUILDING CODE, 9TH EDITION & MUNICIPAL JURISDICTION REQUIREMENTS & BY LAWS.
- THE CONSTRUCTION DRAWINGS WITH THESE NOTES, ALL OF THE CONTRACT DOCUMENTS AND THE WRITTEN SPECIFICATIONS TOGETHER FORM THE COMPLETE CONSTRUCTION DOCUMENTS AND REPRESENTS THE FINISH SCOPE UNLESS NOTED OR SHOWN OTHERWISE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND NOTES, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES.
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- ANY HAZARDOUS MATERIAL DISCOVERED ON SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR ARCHITECT PRIOR TO ANY WORK BEING PERFORMED. ALL LEAD, HAZMAT AND ASBESTOS ABATEMENT WORK SHALL BE IN CONFORMANCE WITH THE MOST RECENT FEDERAL AND MA STATE BUILDING CODE REQUIREMENTS, IF FOUND AND APPROVED AND ABATEMENT.
- BUILDING TO REMAIN WATER TIGHT AT ALL TIMES USING TEMPORARY OR PHASED PERMANENT CONSTRUCTION.
- EGRESS AND OPERATIONS TO BE MAINTAINED AT ALL TIMES.

Owner:

#### Fitchburg Housing Authority

50 Day St. #1 Fitchburg, MA 01420

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#### KEY NOTES:

- 1 INSTALL NEW ASPHALT SHINGLES PER MANUFACTURER'S REQUIREMENTS. PROVIDE NEW ROOF STRUCTURE TO MATCH EXISTING PITCH. SEE S-100 ALT.
- 2 INSTALL NEW 6" ALUMINUM GUTTER.
- 3 INSTALL NEW PVC FASCIA.
- 4 PROVIDE NEW ALUMINUM 3X4 DOWNSPOUTS AND SPLASH BLOCKS.

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DHCD#097129 Fitchburg Housing Authority: Garage **Roof Replacement** 

LEGEND:

Garage North & South Proposed Elevations -ALT

PROJECT #: 20003 DRAWN BY: DTM APPROVED BY: NS SCALE: 1/4" = 1'-0"

A-200 **ALT** 

Garage South Proposed Elevation - ALT

Garage North Proposed Elevation - ALT

1/4" = 1'-0" 2

1/4" = 1'-0" | 1

#### SHEET NOTES

ALL CONNECTIONS AND FRAMING TO MEET 780 CMR 16

ANY REVISIONS TO THESE DRAWINGS OR USE OF THESE DRAWINGS OR SPECIFICATIONS, REGARDLESS OF SCOPE, WITHOUT PERMISSION OF NEXT PHASE STUDIOS, INC. IS PROHIBITED AND SHALL THEREBY ABSOLVE NEXT PHASE STUDIOS, INC., FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT.

- 1. ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS IN FORCE OF THE MASS. BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, ORDERS, ORDINANCES, AND REGULATIONS.
- 2. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN DESIRED AND IMPLY THE FINEST QUALITY WORKMANSHIP THROUGHOUT. ANY DESIGN OR DETAIL THAT APPEARS TO BE INCONSISTENT WITH THE ABOVE SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- 3. THE CONTRACTOR IS EXPECTED TO FURNISH ALL NECESSARY ITEMS OF MATERIALS, LABOR, ETC. WHICH SOUND CONSTRUCTION DEMANDS AND WHICH ARE NECESSARY TO MAKE A COMPLETE JOB TO THE TURE MEANING AND INTENT OF THESE DRAWINGS AND SPECIFICATIONS, WHETHER SHOWN ON THE DRAWINGS OR NOT. THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF ANY MANIFESTLY UNINTENTIONAL ERROR OR OMISSION IN THE DRAWINGS OR SPECIFICATIONS.
- 4. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS, AND OTHER CONDITIONS AND SHALL NOTIFY THE ARCHITECTS OR OWNER OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO STARTING
- 5. ALL FASTENERS USED WITH P.T. LUMBER TO BE CHEMICALLY COMPATIBLE.
- 6. CONTRACTOR TO PROTECT ALL LANDSCAPE & PLANTINGS AS AGREED. TWO LARGE SILVER MAPLES TO BE PROTECTED W/ ROOTS PADDED BY 18" OF MULCH.

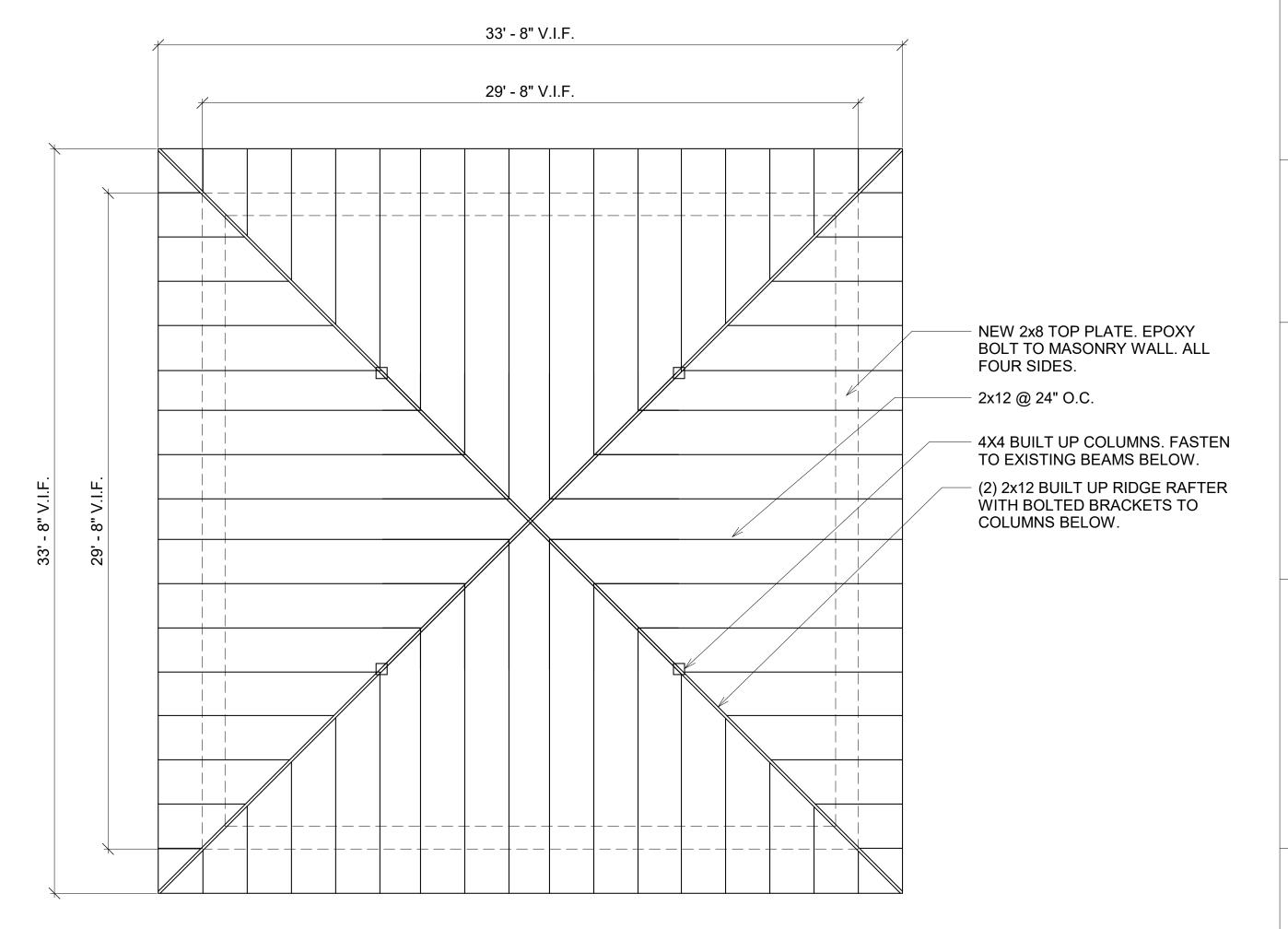
#### DRAWING NOTES

LATERAL BRACING AS SUPPLIED BY MANUFACTURER @ MAX OF 8'-0" O.C.

COORDINATE SINGLE & COUPLED RIM JOISTS TO MANUFACTURE, MATERIALS & DETAILS

ALL HANGERS TO USE SHEER NAILS IN THE QUANTITY TO MATCH TEMPLATE AND SET **FULLY** 

ALL BRACKETS TO BE 1/2"x6"x6" ANGLE W/ MIN. OF (2) 1/2"x4" BOLTS FULLY SET AND WELDED SADDLE AS REQUIRED



Owner:

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50 Day St. #1 Fitchburg, MA 01420

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DHCD#097129 Fitchburg Housing Authority: Garage **Roof Replacement** 

Garage Proposed Framing Plan - ALT

PROJECT #: 20003 DATE: 3/10/21 DRAWN BY: DTM APPROVED BY: NS SCALE: 1/4" = 1'-0"

S-100 **ALT**